

Melbourne Property Inspections P/L, trading as

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Residential

Date of inspection: Tuesday, 16 February 2016 11:45 AM

Pre-purchase Inspection Report

Prepared within the limitations and conditions specified in
Australian Standard AS 4349.1 - 2007 Pre-purchase Inspections - Residential buildings



Property address	13 Andrew Street NORTHCOTE VIC 3070	
Report prepared for	John Sample 709/5432 Church Street RICHMOND VIC 3121	
Client's contact details	Mobile	4932 987 654 joenoto@netscape.com.au
Real estate agent's details	Name	Ben
	Company	Hocking Stuart
	Mobile	0430 457 234
Type of inspection report	Standard Inspection, Defect Only	
Persons present	Client, Agent's Representative, Pre-purchase Building Inspector, Pre-purchase Pest Inspector	
Weather conditions	Fine	
Inspector	Joe Noto, Bachelor Applied Science (Construction Mgt) (Economics) Registered Building Practitioner - Domestic Builder - Unlimited DB-U 28857	

Disclaimer

You acknowledge that this disclaimer forms an integral part of the report. This report is not an all encompassing document dealing with the building from every aspect. It seeks to identify obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant can relate to the age and type of the building inspected. This is not a structural report. For advice of a structural nature contact a structural engineer. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection.

This report is not a certificate of compliance of the property under any act, regulation, ordinance, local law or by-law. It is not a warranty against problems developing with the building in the future. This report does not include the detection and identification of unauthorised or illegal building, plumbing or electrical work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent not listing each one.

This is a visual inspection only, limited to those areas and sections of the property fully accessible and visible to the inspector on the date of Inspection. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, moldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector does not see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform invasive procedures. Visible timbers were not destructively probed or hit. The inspection does not cover areas where access was denied or unavailable to the inspector or defects that may have been concealed or where the identification of a defect may be subject to the prevailing weather conditions or to patterns of use or occupancy of the property. It does not cover the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; seepage; swimming pools/spas; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are regulated by statute. Where within the competency of the inspector and upon request, specific matters may be covered under the terms of a Special-purpose Property Report.

ASBESTOS: No inspection or testing for asbestos was done and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed it may be noted in the report. Buildings built prior to 1986 commonly have materials that contain asbestos and buildings built up until the early 90s may contain some asbestos. Where in any doubt, the material should be assumed to contain asbestos unless testing determines otherwise and you should consider obtaining advice from an asbestos expert. Sanding, drilling, cutting, removing sheeting or disturbing products containing Asbestos that results in releasing airborne asbestos fibers is a health risk.

MOULD: No inspection for mould was done and no report on the presence or absence of mould is provided. If in the course of the inspection, mould happened to be noticed it may be noted in the report. If you are concerned as to the possible health risk resulting from any mould you should seek advice from a relevant expert.

COSTING ADVICE: *Australian Standard AS 4349.1 - 2007 excludes provision of costing advice.* Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. Independent quotes should be obtained if costs of defects is of significance in negotiations on the purchase of a property as well as prior to any work being done. No liability is accepted for costing advice.

DISPUTE/CLAIM PROCEDURE: To make a claim in relation to the inspection, either party shall give written notice of the matter to the other party within 90 days of the inspection. If the claim/dispute is not resolved within 21 days from the service of the written notice, either party may refer it to a mediator nominated by us and costs shall be shared. Should the dispute not be resolved by mediation then either party may refer it to the Institute of Arbitrators and Mediators of Australia to appoint an arbitrator to resolve the claim. The arbitrator shall determine costs that each party is to pay.

THIRD PARTIES: We will not be liable for any loss, damage, cost or expense whatsoever, suffered or incurred by anyone relying on this report other than the Client named on the face page of this report and only then if the invoice for the inspection has been paid in full.

Inspection Agreement

Pre-purchase Standard Inspection

Individual Title Property

Requirement for Inspection agreement

AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

Purpose of inspection

The purpose of the inspection is to provide advice regarding the condition of the property at the time of the inspection.

Access limitations

- Areas where reasonable entry is denied to the inspector or where reasonable access is not available are excluded from and do not form part of the inspection. Access limitations may include legal right of entry, locked doors, security system, pets, furniture or other obstructions. Physical access limitations may include height, narrow boundary clearance, thick vegetation, small roof or crawl space and adverse weather conditions. The report shall identify any area or item within the scope of the inspection that was not inspected and the factor that prevented inspection.
- The extent of accessible areas shall be determined by the inspector at the time of inspection based on the conditions encountered at that time. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access includes a prerequisite that the minimum clearances specified in the table below are safely available.

DIMENSIONS FOR REASONABLE ACCESS

<u>Area</u>	<u>Access hole</u>	<u>Crawl space</u>	<u>Height</u>
Roof Interior	400mm x 500mm	600mm x 600mm	Accessible from a 3.6m ladder
Roof exterior	-	-	Accessible from a 3.6m ladder placed on the ground

NOTES:

- 1 Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
- 2 Sub-floor areas sprayed with chemicals are not be inspected unless it is safe to do so.

Conditions

An inspection report may be conditional on

- prevailing weather conditions or recent occupancy and use of services that might affect observations
- information provided by the client or the agents of the client
- deliberate concealment of defects
- any other relevant factor limiting the inspection

Scope of inspection

What is not reported on - general exclusions detailed in the standard AS 4349.1 - 2007

- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.

What is not reported on - specifics excluded by the standard AS 4349.1 - 2007

Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

What is reported on

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

The following areas shall be inspected where applicable:

- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
- The roof space: roof covering; roof framing; sarking; party walls; insulation
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
- The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (general & swimming pool) ; surface water (drainage effectiveness)

The scope of the inspection includes variations to the exclusions in AS 4349.1 - 2007 as detailed below.

_Nil

Agreement Accepted via E-mail

Joe Noto

John Sample

Building Construction & General Access Limitations

Construction-Original House

Year Built	1935 (Approximate) Estimated
Number of Stories	1
Type of Building	Freestanding house
Footings	Concrete stumps to visible areas
Flooring	Strip timber
Wall Framing	Timber frame
External Walling	Weatherboard
Internal Walling	Plastered, Plasterboard
Windows	Timber framed
Roof Framing	Conventional timber framing
Roof Cladding	Clay roof tiles

Construction - Rear extension

Year Built	1999 (Approximate) Estimated
Number of Stories	1
Footings	Concrete stumps to visible areas
Flooring	Strip timber, Particle board
Wall Framing	Timber frame
External Walling	Weatherboard
Internal Walling	Plasterboard
Windows	Timber framed
Roof Framing	Timber truss framing
Roof Cladding	Clay roof tiles

General Access Limitations

External

- Underground Items
- External timber decks
- Footings
- Stump depths

Internal

- Wall Cavities
- Behind tiles
- Under bottom shelves to various joinery units
- Stored Items in Cupboards
- General furniture/Stored Items
- Concealed areas
- Floor Coverings
- White goods
- Concealed structural items

Roof Void

- Insulation b/w Ceiling Joists

Under Floor

- No underfloor access

Explanation of codes used in the inspection report

Defect types

Type	Defect	Identifier
A	Damage	The fabric of the element has ruptured or is otherwise broken.
B	Distortion Warping Twisting	An element or elements has been distorted or moved from the intended location.
C	Water penetration, Damp related	Moisture is present in unintended or unexpected locations.
D	Material Deterioration (rusting, rotting, corrosion, decay)	An element or component is subject to deterioration of material or materials.
E	Operational	An element or component does not operate as intended.
F	Installation (including omissions)	The element or component is subject to improper or ineffective installation inappropriate use, or missing components.

Defect Significance

Significance Code	Significance Description	Significance Explanation
MA	Major	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
MI	Minor	A defect is minor if it is primarily aesthetic or if it relates to a localized part of the building. While minor defects may be recorded, AS 4349.1 - 2007 does not require the inspector to comment on individual minor defects and imperfections (may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors). Such defects can often be addressed with good home maintenance and when redecoration and renovation is undertaken. A poorly-maintained home could have many more minor defects than other homes of similar age & type of construction.
SH	Safety Hazard	A defect that in the opinion of the inspector is or may constitute a potentially serious safety hazard.
FI	Further Investigation	A defect or possible defect that in the opinion of the inspector warrants further investigation by an appropriate specialist.

Damage categories for cracking in masonry

Description of typical damage and required repair	Width limit	Damage category
Hairline cracks.	≤ 0.1 mm	0
Fine cracks that do not need repair.	≤ 1.0 mm	1
Cracks noticeable but easily filled. Doors and windows stick slightly.	≤ 5.0 mm	2
Cracks can be repaired and possibly a small amount of wall will need to be replaced. Door and windows stick, service pipes can fracture. Weather tightness often impaired.	> 5.0 mm, ≤ 15.0 mm (or a number of cracks 3.0 mm or more in one group).	3
Extensive repair work involving breaking out and replacing sections of walls, especially over doors and windows and door frames distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted.	> 15.0 mm, ≤ 25 mm but also depends on number of cracks.	4

Defects recorded during inspection

Interior - Bathroom

Shower ventilation

Missing exhaust fan and cover

Minor Defect

Type: F

The installation of an exhaust fan is highly recommended.



Shower tiles

Grouting gapped

Minor Defect

Type: A, F

Occurs to the shower to the laundry. It is highly likely a moisture proof membrane has not been applied to the shower walls & floor prior to tiling and over time water seepage into the wall cavity may have occurred - an invasive inspection of the sub-floor and wall cavity in the is required to determine extent of any potential damage.

It is recommended tiles are re-grouted, silicone sealant applied to tile junctions and an epoxy resin applied to the surface to seal the grout.



Interior - Kitchen

Windows Water damage to window architrave Minor Defect Type: C, D

Do not sand back architrave as it is likely have made from a hazardous material. Replacement is recommended.



Bench top

Water damage

Minor Defect

Type: D, C



Bench top

Water leakage to the underside of
benchtop

Minor Defect

Type: C, D

Apply sealant to bench top / sink junction to prevent water flow into concealed areas. The benchtop is suitable until the renovation begins. The



Cupboards

Water damage

Minor Defect

Type: D, C



Interior - Laundry

Floors

Gapped grout

Minor Defect

Type: F

He may have occurred as a result of movement through the foundations or as a result of poor installation. Re-application of grout required.



Doors and frames

Missing the door hardware to sliding door

Minor Defect

Type: F



Interior - Lounge

Floors

Damage

Minor Defect

Type: A

Replace floorboard.



Interior - Various rooms

Internal movement defects

Various items

Minor Defect

Type: A

Various movement defects including the following have occurred as a result of foundation movement (ground movement) causing movement of the floor and therefore the wall and roof structures;

- 1. Cracking to various walls and ceilings - patching and painting required.*
- 2. Flooring significantly out of level - re-stumping has previously been carried out although re-levelling of the sub-floor structure was not.*
- 3. Window and door opening's out of square - adjustments of various windows and doors required to enable proper operation.*
- 4. Ceilings out of level - no action required other than to monitor over time.*

It is highly recommended an invasive inspection of the sub-floor is carried out prior to making the

purchasing decision.

Rectification of poor site drainage the poor ventilation to the sub-floor area is required prior to rectifying in the movement defects.

Some examples have been depicted below.





Window & door openings out of squar



Flooring out of level





Bathroom window out of square



SEALANT to tiles required



Kitchen window out of square

Exterior - Front Elevation

Walling

Minor cracking

Minor Defect

Type: A

Has occurred as a result of subsidence of the foundations. Further movement may occur as moisture content in foundations changes through changing weather conditions. Regular monitoring is required over time and should further significant movement occur, further inspection should be carried out.

An invasive inspection of the sub-floor is recommended to make further accurate determination.



Under floor ventilation Insufficient under floor ventilation Minor Defect Type: F

It is recommended the bottom weather board is removed to enable better air flow through the sub-floor area. This will create dry conditions throughout the sub-floor.



Exterior - South Elevation

Walling Exposed wall cavity Minor Defect Type: F

Has occurred as the original down-pipe has been replaced. Application of stucco render required to prevent water flow into the wall cavity.



Doors

Painting of top and bottom edges of external timber doors is required to prevent decay

Minor Defect

Type: F



Exterior - Other Features

Plumbing

Surface corrosion to vent pipe above roof level

Minor Defect

Type: D

Re-painting required.



Exterior - Default Elevation

External timbers

Rot & timbers susceptible to rot

Minor Defect

Type: D, C

Application of sealants, paints or flashings required to protect external timbers from moisture ingress to prevent further decay/rot to exposed timbers.

All timber joints, gaps at junctions, un-painted surfaces etc required filling, sanding and painting.

All timber glazing beads to external window faces require sealant to prevent further decay.

All non-treated timber in contact with the ground should be replaced with treated timber to prevent rot and damage.

Any rotted timber should be removed and patched / painted.

Some examples depicted below.



Roof - Roof Exterior

Roof tiles Capping mortar loose/missing Minor Defect Type: A
Re-pointing required to prevent further dilapidation and possible leakage.



Roof tiles Cracked and decaying roof tiles Minor Defect Type: A, D, C
Complete replacement of roof tiles to the original home is required.



Powdering clay roof over insulation



Decaying roof tiles





Valleys

Corrosion in valleys

Minor Defect

Type: D

Application of metal paint required to prevent further corrosion or replace as part of the renovation.



Guttering

Missing gutter to the front elevation

Minor Defect

Type: F

Guter to be installed.



Down pipes

Not connected to storm water system Minor Defect

Type: F

A storm water point has been installed to pick up the gutter pop to the Northern end of the rear veranda but a down-pipe and other miscellaneous works such as cutting of deck timbers has not yet been carried out. Installation of a down-pipe to the storm water point is required by a licensed plumber. This will prevent water flow into the sub-floor and residual defects such as decay of stumps and structural movement defects over time.

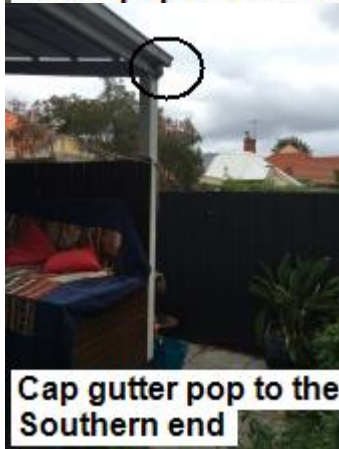
The gutter point to the opposite end can be capped and the gutter re-installed to fall toward the Northern end.



Gutter pop to the Northern end



Storm water point to the Northern end



Cap gutter pop to the Southern end

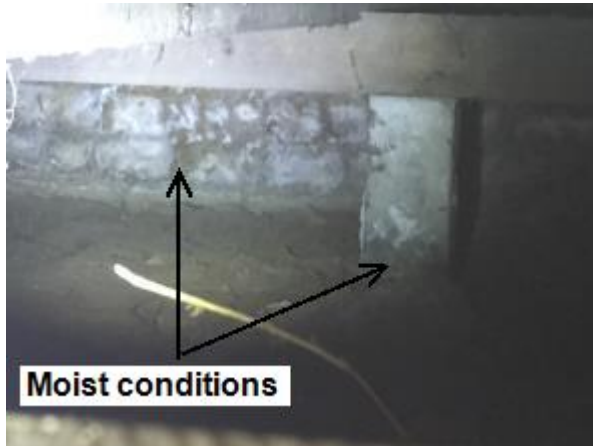
Sub-Floor - Sub-Floor Space

Moisture

Damp Conditions to sub-floor area

Further Investigation Type: D, C

Rising damp to masonry walls and efflorescence to concrete stumps has been recorded. Installation of a concrete slab and drainage points to the South elevation path may prevent water flow into the sub-floor to minimise moist conditions however, an invasive inspection of the sub-floor areas is required to ensure all area's where water seepage may occur are inspected and reported on. For instance, access under the timber deck to the North elevation may reveal water flow toward the sub-floor from the neighbouring property.



Site - Site Management

Surface water No grade away from perimeter path edges or provision for drainage Minor Defect Type: F

Poor site drainage occurs to the South elevation where the land slopes and water flows toward the home. Sub-floor structures are significantly affected by poor drainage where structural movement defects to internal and external area's of the home may occur as a result. These defects commonly include cracking to internal linings, separation of architraves, binding doors, movement of floors out of level and more significant structural defects may occur over time or may have occurred to concealed/inaccessible areas - access to the sub-floor area in particular is recommended to determine extent of any defects.

In this case, it is recommended that surface drains are installed and connected to the storm water system. A concrete paving slab is to be poured to fall water toward the drainage points and into the storm water system as opposed to the sub-floor cavity.



Surface water Airconditioning over-flows fall water direct to the ground & into the sub-floor Minor Defect Type: F

It is recommended over-flows are extended to fall water into the storm water system as opposed to the sub-floor area where damp conditions and structural movement defects can occur as a result.



Trees

Dry leaves to gum tree at backyard

Further Investigation Type: E

Arborist to determine health of tree.



Site - Grounds

Pathways

Deck timbers out of level

Further Investigation Type: A

An invasive inspection of the sub-floor is recommended to accurately determine cause for movement.



Property fencing

Fencing not in good alignment

Minor Defect

Type: A

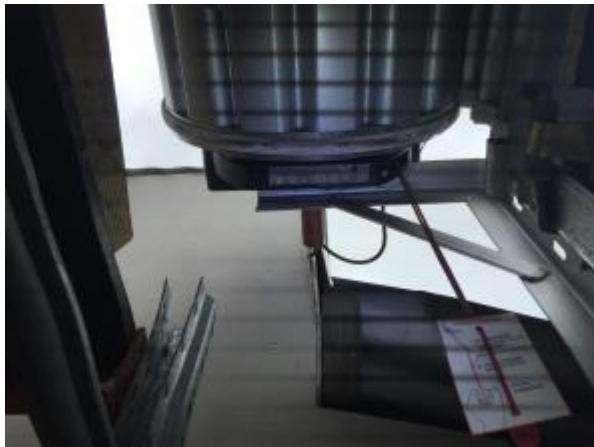


Property fencing

Electric roller door manual pad does not operate

Further Investigation Type: E

The roller door worked with the use of the remote. Contact the roller door manufacturer for further advice.



Property fencing

Missing lock/latch to side gate

Minor Defect

Type: F



Timber decking

Damaged decking timbers

Minor Defect

Type: A



Site - Cubby house

Maintenance / installation Various items defects

Minor Defect

Type: D, C, F

The following defects have been recorded;

1. Holes through roof sheets - holes can be plugged by a roof plumber.
2. Water entry through the roof /gutter junction - roof plumber to rectify to prevent decay to the timber wall structure.
3. Water staining to timber wall structure - refer above.
4. Unsafe electrical installations- licensed electrician to rectify.
5. Surface rust to roof sheets - roof top can be painted to prevent further corrosion.

The sub-floor structure is generally in good condition,



Holes in roof sheets



Water seepage



water seepage from roof top



Unsafe electrical installations



Light corrosion to roof sheets



Loose light fitting

Further due diligence recommended

- Air conditioning system inspection
- Asbestos report
- Arborist report on tree(s)
- Building inspection to under-floor areas
- Building inspection to concealed areas
- Electrical compliance inspection
- Electrical safety inspection
- Drainage & seepage assessment
- Chimney/flue inspection
- Fixed appliance inspection
- Heater inspection
- Hot water service inspection
- Plumber's report on gas installation
- Plumber's report on compliance
- Property boundary survey
- Valuation report
- Security system inspection
- Behind tiles
- Wall Cavities
- Storm water/sewer/water supply systems
- Fire safety systems
- Underground items
- Bath hob cavity
- Concealed voids and structural items

Summary

FI - Further Investigation

Sub-Floor > Sub-Floor Space > Moisture > Damp Conditions to sub-floor area

Rising damp to masonry walls and efflorescence to concrete stumps has been recorded. Installation of a concrete slab and drainage points to the South elevation path may prevent water flow into the sub-floor to minimise moist conditions however, an invasive inspection of the sub-floor areas is required to ensure all areas where water seepage may occur are inspected and reported on. For instance, access under the timber deck to the North elevation may reveal water flow toward the sub-floor from the neighbouring property.

Site > Site Management > Trees > Dry leaves to gum tree at backyard

Arborist to determine health of tree.

Site > Grounds > Pathways > Deck timbers out of level

An invasive inspection of the sub-floor is recommended to accurately determine cause for movement.

Site > Grounds > Property fencing > Electric roller door manual pad does not operate

The roller door worked with the use of the remote. Contact the roller door manufacturer for further advice.

MI - Minor Defect

Interior > Bathroom > Shower ventilation > Missing exhaust fan and cover

The installation of an exhaust fan is highly recommended.

Interior > Bathroom > Shower tiles > Grouting gapped

Occurs to the shower to the laundry. It is highly likely a moisture proof membrane has not been applied to the shower walls & floor prior to tiling and over time water seepage into the wall cavity may have occurred - an invasive inspection of the sub-floor and wall cavity in the is required to determine extent of any potential damage. It is recommended tiles are re-grouted, silicone sealant applied to tile junctions and an epoxy resin applied to the surface to seal the grout.

Interior > Kitchen > Windows > Water damage to window architrave

Do not sand back architrave as it is likely have made from a hazardous material. Replacement is recommended.

Interior > Kitchen > Bench top > Water damage

Interior > Kitchen > Bench top > Water leakage to the underside of benchtop

Apply sealant to bench top / sink junction to prevent water flow into concealed areas. The benchtop is suitable until the renovation begins. The

Interior > Kitchen > Cupboards > Water damage

Interior > Laundry > Floors > Gapped grout

He may have occurred as a result of movement through the foundations or as a result of poor installation. Re-application of grout required.

Interior > Laundry > Doors and frames > Missing the door hardware to sliding door

Interior > Lounge > Floors > Damage

Replace floorboard.

Interior > Various rooms > Internal movement defects > Various items

Various movement defects including the following have occurred as a result of foundation movement (ground movement) causing movement of the floor and therefore the wall and roof structures; 1. Cracking to various walls and ceilings - patching and painting required. 2. Flooring significantly out of level - re-stumping has previously been carried out although re-levelling of the sub-floor structure was not. 3. Window and door opening's out of square - adjustments of various windows and doors required to enable proper operation. 4. Ceilings out of level - no action required other than to monitor over time. It is highly recommended an invasive inspection of the sub-floor is carried out prior to making the purchasing decision. Rectification of poor site drainage the poor ventilation to the sub-floor area is required prior to rectifying in the movement defects. Some examples have been depicted below.

Exterior > Default Elevation > External timbers > Rot & timbers susceptible to rot

Application of sealants, paints or flashings required to protect external timbers from moisture ingress to prevent further decay/rot to exposed timbers. All timber joints, gaps at junctions, unpainted surfaces etc required filling, sanding and painting. All timber glazing beads to external window faces require sealant to prevent further decay. All non-treated timber in contact with the ground should be replaced with treated timber to prevent rot and damage. Any rotted timber should be removed and patched / painted. Some examples depicted below.

Exterior > Front Elevation > Walling > Minor cracking

Has occurred as a result of subsidence of the foundations. Further movement may occur as moisture content in foundations changes through changing weather conditions. Regular monitoring is required over time and should further significant movement occur, further inspection should be carried out. An invasive inspection of the sub-floor is recommended to make further accurate determination.

Exterior > Front Elevation > Under floor ventilation > Insufficient under floor ventilation

It is recommended the bottom weather board is removed to enable better air flow through the sub-floor area. This will create dry conditions throughout the sub-floor.

Exterior > South Elevation > Walling > Exposed wall cavity

Has occurred as the original down-pipe has been replaced. Application of stucco render required to prevent water flow into the wall cavity.

Exterior > South Elevation > Doors > Painting of top and bottom edges of external timber doors is required to prevent decay**Exterior > Other Features > Plumbing > Surface corrosion to vent pipe above roof level**

Re-painting required.

Roof > Roof Exterior > Roof tiles > Capping mortar loose/missing

Re-pointing required to prevent further dilapidation and possible leakage.

Roof > Roof Exterior > Roof tiles > Cracked and decaying roof tiles

Complete replacement of roof tiles to the original home is required.

Roof > Roof Exterior > Valleys > Corrosion in valleys

Application of metal paint required to prevent further corrosion or replace as part of the renovation.

Roof > Roof Exterior > Guttering > Missing gutter to the front elevation

Gutter to be installed.

Roof > Roof Exterior > Down pipes > Not connected to storm water system

A storm water point has been installed to pick up the gutter pop to the Northern end of the rear veranda but a down-pipe and other miscellaneous works such as cutting of deck timbers has not yet been carried out. Installation of a down-pipe to the storm water point is required by a licensed plumber. This will prevent water flow into the sub-floor and residual defects such as decay of stumps and structural movement defects over time. The gutter point to the opposite end can be capped and the gutter re-installed to fall toward the Northern end.

Site > Site Management > Surface water > No grade away from perimeter path edges or provision for drainage

Poor site drainage occurs to the South elevation where the land slopes and water flows toward the home. Sub-floor structures are significantly affected by poor drainage where structural movement defects to internal and external areas of the home may occur as a result. These defects commonly include cracking to internal linings, separation of architraves, binding doors, movement of floors out of level and more significant structural defects may occur over time or may have occurred to concealed/inaccessible areas - access to the sub-floor area in particular is recommended to determine extent of any defects. In this case, it is recommended that surface drains are installed and connected to the storm water system. A concrete paving slab is to be poured to fall water toward the drainage points and into the storm water system as opposed to the sub-floor cavity.

Site > Site Management > Surface water > Airconditioning over-flows fall water direct to the ground & into the sub-floor

It is recommended over-flows are extended to fall water into the storm water system as opposed to the sub-floor area where damp conditions and structural movement defects can occur as a result.

Site > Grounds > Property fencing > Fencing not in good alignment**Site > Grounds > Property fencing > Missing lock/latch to side gate**

Site > Grounds > Timber decking > Damaged decking timbers

Site > Cubby house > Maintenance / installation defects > Various items

The following defects have been recorded; 1. Holes through roof sheets - holes can be plugged by a roof plumber. 2. Water entry through the roof /gutter junction - roof plumber to rectify to prevent decay to the timber wall structure. 3. Water staining to timber wall structure - refer above. 4. Unsafe electrical installations- licensed electrician to rectify. 5. Surface rust to roof sheets - roof top can be painted to prevent further corrosion. The sub-floor structure is generally in good condition,

SUMMARY

General maintenance on the inspected property is considered reasonable to poor in comparison other homes of the same age and construction where significant rectification and incomplete installations have been recorded as discussed in the main body of the report.

No major structural defects have been recorded to accessible areas. It is important to note that access to the sub-floor was not available. It is highly recommended that an invasive inspection to all non-accessible/non-visible area's is carried out prior to making the purchasing decision.

Minor structural defects and other minor defects were recorded where most require rectification to prevent further dilapidation. Any defects requiring rectification must be rectified prior to undertaking the renovation or throughout the construction process.

It was noted the shed to South of the backyard is to be demolished. Sub-standard construction methods were utilised in the construction of this structure. The shed can be utilised over the long term and is safe to do so.

Important General Warning Notes:

Due to the wide spread infestation of termites throughout parts of Victoria, including inner city suburbs, detailed pest inspection by an authorized pest company is recommended if not already undertaken.

1. This report has been prepared in accordance with Australian Standard AS4349.1-2007 for Pre-purchase Inspections – Residential Buildings and is not a pest inspection report. As termites are widespread throughout mainland Australia, we recommend annual property & timber pest inspections.

2. The report only comments on the visual condition of electrical fittings and fixtures. No appliances, fittings or systems have been operated, tested or assessed for compliance.

3. Smoke detectors must be installed in accordance with current regulations. Recommend smoke detectors checking regularly to ensure proper operation.

4. In the interests of safety, we recommend all property owners should have an electrical safety inspection undertaken by a suitably qualified specialist. We also recommend a review of all appliances, equipment and systems at settlement.

5. Drought conditions followed by more recent rain periods can cause buildings to crack literally overnight. Prompt action should be taken to address any specific recommendations made by the author of this report.
6. The condition of timber-framed or concrete decks and balconies deteriorates over time – annual inspections should be undertaken to verify their safety.
7. We recommend a review of all door and window locks and security systems at settlement.
8. The condition of timber or metal framed external structures, and timber or metal framed verandas / pergolas deteriorate over time – annual inspections should be conducted to verify their safety.
9. The condition of timber or metal framed external structures such as timber or metal framed balconies, timber or metal framed decks, deteriorate over time – annual inspections should be conducted to verify their safety.
10. Trees planted close to the perimeter of structures should be closely monitored as vigorous root growth may result in deterioration or damage to buildings and paving. General rule of thumb is that trees should be planted a distance away from structures equal to 1 ½ times the mature height of that particular tree.
11. It is the responsibility of the purchaser to check sales documents and council records to ensure that there are no illegal buildings or structures constructed on the property and that permitted buildings on the subject site have had the required final inspections by the relevant authorities to allow habitation / occupation of that subject building / structure.
12. Shallow concrete tile or terracotta roofs require vigilant monitoring, as these roofs are more prone to leak during adverse or wind driven rain periods than higher pitched roofs due to the shallow pitch of these roofs.
13. Timbers in the ground or within close proximity to the ground around the perimeter of a building, or timbers left / stored underneath a house within sub floor space, should be removed.
14. It must be noted that unforeseen ground movements affected by variations in ground moisture conditions, past drought conditions, increased rain intensity, and proximity of trees / plants may result in further / increased uncontrolled cracking in parts to external wall panels, internal floor coverings, and internal wall and ceiling cladding. Vigilant monitoring recommended. Any dramatic changes should be reported to the author of this report for further assessment.
15. Caution to be exercised as cement sheet cladding material manufacture prior to 1984 may contain asbestos fibres. Caution as buildings of this age may contain cement sheet products that potentially may contain asbestos fibres. Recommend performing an asbestos audit on all buildings that are older than 1984.

16. Shallow metal deck or corrugated metal roofs require vigilant monitoring, as these roofs are more prone to leak during adverse or wind driven rain periods than higher pitched roofs due to the shallow pitch of these roofs.

17. Sealed balcony floors require vigilant monitoring even though these balcony floors may not show current signs of water leaks. These balcony floors may be prone to future leakage as grout, silicon, and water proofing deteriorate or breakdown due movements induced into the building resulting from structural settlement, or movements induced into the building resulting from uncontrolled ground movements. Balcony floors that are relatively flat or have low grade may be prone to retaining water that may eventually leak through the balcony floor.

18. In the interests of safety, Melbourne Property Inspections P/L recommends all property owners should have an electrical safety inspection undertaken by a suitably qualified specialist.

19. If you are purchasing the property, Melbourne Property Inspections P/L recommends a review of all door and window locks and security systems, appliance and equipment at settlement as the conditions of these may change from the time of this inspection.

20. Caution as deterioration may start or continue to worsen over the next few months, in particular during the settlement period of the purchase of this property.

21. Cracking in brickwork:

In accordance with AS2870 - Residential slabs and footings - Construction, Appendix C1:Classification of damage with reference to walls, evident cracking will be classified within the categories as listed earlier in this report.

22. It is highly likely a moisture proof membrane has not been applied to the shower walls & floor prior to tiling and over time water seepage into the wall cavity may have occurred - an invasive inspection is required to determine extent of any potential damage and to make determination on rectification methods. It is recommended tiles are re-grouted, silicone sealant applied to tile junctions and an epoxy resin applied to the surface to seal the grout at a minimum for the short-term.

23. Washers to all taps and outlets commonly require regular maintenance and should be replaced.

Conclusion

When compared to other buildings of similar age, construction and style that have been reasonably well maintained, on the day of the inspection and to accessible areas, it was the inspector's opinion that:

- The incidence of major defects was **TYPICAL**
- The incidence of minor defects was **TYPICAL - HIGH**
- The incidence of safety issues was **TYPICAL**

Therefore the overall condition of this home, in context, was considered, on the day, to be: **AVERAGE**

Please note: This is a general overall appraisal only and cannot be relied upon on its own.
The report must be read in its entirety.

Explanation of conditions:

HIGH

The frequency and/or significance of defects were more than expected when compared to buildings of similar age, construction and style that have been reasonably well maintained.

TYPICAL

The frequency and/or significance of defects were consistent with that expected when compared to buildings of similar age, construction and style that have been reasonably well maintained.

LOW

The frequency and/or significance of defects were less than expected when compared to buildings of similar age, construction and style that have been reasonably well maintained.

ABOVE AVERAGE

The overall condition is better than that expected of homes of similar age, construction and style. Most items and areas are well maintained and show a reasonable standard of construction, materials and workmanship. General ongoing maintenance should suffice.

AVERAGE

The overall condition is consistent with that expected of homes of similar age, construction and style. There will be areas or items requiring some repairs or maintenance attention.

BELOW AVERAGE

The home and its parts show significant defects and/or very poor workmanship and/or long term neglect requiring extensive work or major repairs or reconstruction of major building elements. This work would be beyond that generally considered to be normal repair and maintenance.