

Melbourne Property Inspections P/L, trading as

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Residential

Date of inspection: Thursday, 07 April 2016 02:00 PM

Lock-up & Fix Inspection Report

Prepared within the limitations and conditions specified in
Australian Standard AS 4349.1 - 2007 Pre-purchase Inspections - Residential buildings



| | | |
|-----------------------------|--|---|
| Property address | Lot 411 Frontier Avenue GREENVALE VIC 3059 | |
| Report prepared for | Michelle Sample & Andrew Davey 158 Sample Drive ESSENDON VIC 3040 | |
| Client's contact details | Mobile | 0400 000 000 Michelle.sample@anz.com |
| Real estate agent's details | Name | n/a |
| | Company | n/a |
| Type of inspection report | Standard Inspection, Defect Only | |
| Persons present | | |
| Weather conditions | Fine | |
| Inspector | Joe Noto, Bachelor Applied Science (Construction Mgt) (Economics) Registered Building Practitioner - Domestic Builder - Unlimited DB-U 28857 | |

Disclaimer

You acknowledge that this disclaimer forms an integral part of the report. This report is not an all encompassing document dealing with the building from every aspect. It seeks to identify obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant can relate to the age and type of the building inspected. This is not a structural report. For advice of a structural nature contact a structural engineer. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection.

This report is not a certificate of compliance of the property under any act, regulation, ordinance, local law or by-law. It is not a warranty against problems developing with the building in the future. This report does not include the detection and identification of unauthorised or illegal building, plumbing or electrical work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent not listing each one.

This is a visual inspection only, limited to those areas and sections of the property fully accessible and visible to the inspector on the date of Inspection. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, moldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector does not see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform invasive procedures. Visible timbers were not destructively probed or hit. The inspection does not cover areas where access was denied or unavailable to the inspector or defects that may have been concealed or where the identification of a defect may be subject to the prevailing weather conditions or to patterns of use or occupancy of the property. It does not cover the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; seepage; swimming pools/spas; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are regulated by statute. Where within the competency of the inspector and upon request, specific matters may be covered under the terms of a Special-purpose Property Report.

ASBESTOS: No inspection or testing for asbestos was done and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed it may be noted in the report. Buildings built prior to 1986 commonly have materials that contain asbestos and buildings built up until the early 90s may contain some asbestos. Where in any doubt, the material should be assumed to contain asbestos unless testing determines otherwise and you should consider obtaining advice from an asbestos expert. Sanding, drilling, cutting, removing sheeting or disturbing products containing Asbestos that results in releasing airborne asbestos fibers is a health risk.

MOULD: No inspection for mould was done and no report on the presence or absence of mould is provided. If in the course of the inspection, mould happened to be noticed it may be noted in the report. If you are concerned as to the possible health risk resulting from any mould you should seek advice from a relevant expert.

COSTING ADVICE: *Australian Standard AS 4349.1 - 2007 excludes provision of costing advice.* Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. Independent quotes should be obtained if costs of defects is of significance in negotiations on the purchase of a property as well as prior to any work being done. No liability is accepted for costing advice.

DISPUTE/CLAIM PROCEDURE: To make a claim in relation to the inspection, either party shall give written notice of the matter to the other party within 90 days of the inspection. If the claim/dispute is not resolved within 21 days from the service of the written notice, either party may refer it to a mediator nominated by us and costs shall be shared. Should the dispute not be resolved by mediation then either party may refer it to the Institute of Arbitrators and Mediators of Australia to appoint an arbitrator to resolve the claim. The arbitrator shall determine costs that each party is to pay.

THIRD PARTIES: We will not be liable for any loss, damage, cost or expense whatsoever, suffered or incurred by anyone relying on this report other than the Client named on the face page of this report and only then if the invoice for the inspection has been paid in full.

Building Construction & General Access Limitations

Construction-Original House

| | |
|-------------------|-------------------------|
| Year Built | 2016 |
| Number of Stories | 1 |
| Type of Building | Freestanding house |
| Footings | Concrete slab on ground |
| Flooring | Concrete |
| Wall Framing | Timber frame |
| External Walling | Articulated masonry |
| Internal Walling | Plasterboard |
| Windows | Aluminium framed |
| Roof Framing | Timber truss framing |
| Roof Cladding | Concrete roof tiles |

General Access Limitations

External

- Underground Items
- Footings

Internal

- Wall Cavities

Explanation of codes used in the inspection report

Defect types

| Type | Defect | Identifier |
|------|---|---|
| A | Damage | The fabric of the element has ruptured or is otherwise broken. |
| B | Distortion Warping Twisting | An element or elements has been distorted or moved from the intended location. |
| C | Water penetration, Damp related | Moisture is present in unintended or unexpected locations. |
| D | Material Deterioration (rusting, rotting, corrosion, decay) | An element or component is subject to deterioration of material or materials. |
| E | Operational | An element or component does not operate as intended. |
| F | Installation (including omissions) | The element or component is subject to improper or ineffective installation inappropriate use, or missing components. |

Defect Significance

| Significance Code | Significance Description | Significance Explanation |
|-------------------|--------------------------|--|
| MA | Major | A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property. |
| MI | Minor | A defect is minor if it is primarily aesthetic or if it relates to a localized part of the building. While minor defects may be recorded, AS 4349.1 - 2007 does not require the inspector to comment on individual minor defects and imperfections (may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors). Such defects can often be addressed with good home maintenance and when redecoration and renovation is undertaken. A poorly-maintained home could have many more minor defects than other homes of similar age & type of construction. |
| SH | Safety Hazard | A defect that in the opinion of the inspector is or may constitute a potentially serious safety hazard. |
| FI | Further Investigation | A defect or possible defect that in the opinion of the inspector warrants further investigation by an appropriate specialist. |

Damage categories for cracking in masonry

| Description of typical damage and required repair | Width limit | Damage category |
|--|--|-----------------|
| Hairline cracks. | ≤ 0.1 mm | 0 |
| Fine cracks that do not need repair. | ≤ 1.0 mm | 1 |
| Cracks noticeable but easily filled. Doors and windows stick slightly. | ≤ 5.0 mm | 2 |
| Cracks can be repaired and possibly a small amount of wall will need to be replaced. Door and windows stick, service pipes can fracture. Weather tightness often impaired. | > 5.0 mm, ≤ 15.0 mm (or a number of cracks 3.0 mm or more in one group). | 3 |
| Extensive repair work involving breaking out and replacing sections of walls, especially over doors and windows and door frames distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted. | > 15.0 mm, ≤ 25 mm but also depends on number of cracks. | 4 |

Defects recorded during inspection

Interior - Various rooms

Walls and ceilings Various plaster defects Minor Defect Type: A, F

Additional plaster defects have been recorded on site. Rectification is required prior to painting. It is highly recommended an additional inspection is carried out once plaster defects have been rectified as a result of poor quality of work carried out to date.

Damaged external corners to the corridor require complete replacement - refer to photo below.



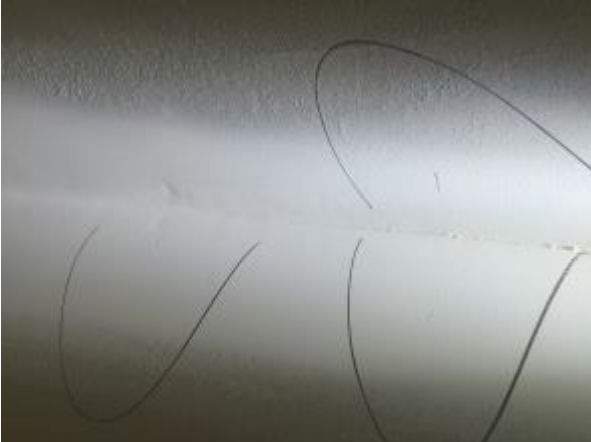


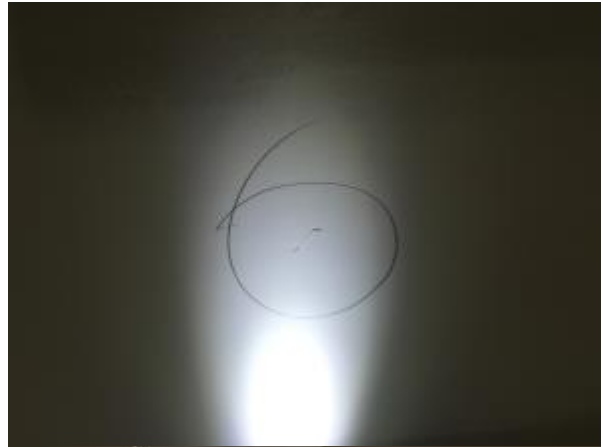


behind the laundry door



behind the laundry door







Exterior - Rear Elevation

Sills

Timbers sill protection to be
reinstalled

Minor Defect

Type: F



Doors

Timber door frame installed out of square

Minor Defect

Type: F

Timber framed to be squared up.



Exterior - Default Elevation

Lock-up stage items

In-complete lock-up stage items

Minor Defect

Type: F

As of the inspection date the builder was yet to complete various lock-up stage items as recorded in the photos below.



brickwork



brickwork



brickwork



brickwork





brick sills

Exterior - East Elevation

Slab edge Inadequate construction method Further Investigation Type: F

Visual access cannot be made unless excavation of the ground adjacent the slab edge is carried out. It is essential this investigation is carried out to determine adequacy of footing installation supporting the east elevation brick wall.



Roof - Roof Exterior

Roof tiles Some roof tiles need re-seating Minor Defect Type: F

A roof serviced by the roof tile installer is required.



Site - Site Management

Surface water Ground slopes towards building & no provision for drainage Major Defect Type: F

It is the builder's responsibility to ensure good site drainage throughout the course of construction. In this case, water flows towards the perimeter of the waffle slab to the east elevation and the rear elevation.

Any structural movement outside of design parameters relevant to soil classification, building legislation and site-specific issues may be attributed to poor site drainage throughout the course of

construction.

As per relevant building legislation, the builder is responsible for maintaining good site drainage throughout the course of the project. In this case it is evident the builder has not taken relevant steps in this matter.

It is recommended site supervisor and access to the following publications and furthermore ensures footing and foundation maintenance is maintained throughout the course of the project;

1. CSIRO Document – Building Technology File 19 – A builder’s guide to preventing damage to dwellings: Part 1 – Site investigation and preparation.
2. CSIRO Document – Building Technology File 22 – A builder’s guide to preventing damage to dwellings – Part 2 – Sound construction method.

It is evident from the site plan the retaining wall, agricultural drain and silt pit has not been designed for to the rear elevation. It is highly recommended this is installed now with the clients design requirements in mind for their backyard in order to prevent possible movement defects after handover.

The site plan of the retaining walls to the East and West elevations shows the retaining wall extending to the rear of the garage wall and to the rear fence respectively. Walls have not been built as such as there is an approximate to 2 meet gap between the end of the retaining wall and the rear garage wall to the east elevation where water flow from the neighbouring property will fall towards the waffle slab on the inspected property and possibly cause structural movement defects over time. The retaining wall to the west elevation runs approximately 4 m short of the rear boundary fence. Correct installation of the retaining wall to the east elevation will require re-location of the silt pit and gutter-pop/downpipe.

A major defect has been recorded as major structural movement may occur should this defect be left unattended.



direction of water flow to rear elevation

