

Melbourne Property Inspections P/L, trading as

# Melbourne Property Inspections P/L

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**Melbourne**  
PROPERTY INSPECTIONS

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## Residential

Date of inspection: Tuesday, 15 September 2015 12:00 PM

# Pre-purchase Inspection Report

Prepared within the limitations and conditions specified in  
Australian Standard AS 4349.1 - 2007 Pre-purchase Inspections - Residential buildings



Property address	193 Tyler Street PRESTON VIC 3072
Report prepared for	Kurt sample 2/8 Sample Street IVANHOE VIC 3079
Client's contact details	Mobile 0421 888 888 Sample@hotmail.com
Real estate agent's details	Name Andrew Luzza Company Hocking Stuart Mobile 0401 319 622
Type of inspection report	Standard Inspection, Defect Only
Persons present	Agent's Representative, Pre-purchase Building Inspector, Pre-purchase Pest Inspector
Weather conditions	Fine
Inspector	Joe Noto, Bachelor Applied Science (Construction Mgt) (Economics) Registered Building Practitioner - Domestic Builder - Unlimited DB-U 28857

# Disclaimer

You acknowledge that this disclaimer forms an integral part of the report. This report is not an all encompassing document dealing with the building from every aspect. It seeks to identify obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant can relate to the age and type of the building inspected. This is not a structural report. For advice of a structural nature contact a structural engineer. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection.

This report is not a certificate of compliance of the property under any act, regulation, ordinance, local law or by-law. It is not a warranty against problems developing with the building in the future. This report does not include the detection and identification of unauthorised or illegal building, plumbing or electrical work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent not listing each one.

This is a visual inspection only, limited to those areas and sections of the property fully accessible and visible to the inspector on the date of Inspection. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, moldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector does not see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform invasive procedures. Visible timbers were not destructively probed or hit. The inspection does not cover areas where access was denied or unavailable to the inspector or defects that may have been concealed or where the identification of a defect may be subject to the prevailing weather conditions or to patterns of use or occupancy of the property. It does not cover the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; seepage; swimming pools/spas; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are regulated by statute. Where within the competency of the inspector and upon request, specific matters may be covered under the terms of a Special-purpose Property Report.

**ASBESTOS:** No inspection or testing for asbestos was done and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed it may be noted in the report. Buildings built prior to 1986 commonly have materials that contain asbestos and buildings built up until the early 90s may contain some asbestos. Where in any doubt, the material should be assumed to contain asbestos unless testing determines otherwise and you should consider obtaining advice from an asbestos expert. Sanding, drilling, cutting, removing sheeting or disturbing products containing Asbestos that results in releasing airborne asbestos fibers is a health risk.

**MOULD:** No inspection for mould was done and no report on the presence or absence of mould is provided. If in the course of the inspection, mould happened to be noticed it may be noted in the report. If you are concerned as to the possible health risk resulting from any mould you should seek advice from a relevant expert.

**COSTING ADVICE:** *Australian Standard AS 4349.1 - 2007 excludes provision of costing advice.* Any cost advice provided verbally or in this report must be taken as of a general nature and is not to be relied on. Actual costs depend on the quality of materials, standard of work, what price a contractor is prepared to do the work for and may be contingent on approvals, delays and unknown factors associated with third parties. Independent quotes should be obtained if costs of defects is of significance in negotiations on the purchase of a property as well as prior to any work being done. No liability is accepted for costing advice.

**DISPUTE/CLAIM PROCEDURE:** To make a claim in relation to the inspection, either party shall give written notice of the matter to the other party within 90 days of the inspection. If the claim/dispute is not resolved within 21 days from the service of the written notice, either party may refer it to a mediator nominated by us and costs shall be shared. Should the dispute not be resolved by mediation then either party may refer it to the Institute of Arbitrators and Mediators of Australia to appoint an arbitrator to resolve the claim. The arbitrator shall determine costs that each party is to pay.

**THIRD PARTIES:** We will not be liable for any loss, damage, cost or expense whatsoever, suffered or incurred by anyone relying on this report other than the Client named on the face page of this report and only then if the invoice for the inspection has been paid in full.

# Inspection Agreement

## Pre-purchase Standard Inspection

### Individual Title Property

#### Requirement for Inspection agreement

AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

#### Purpose of inspection

The purpose of the inspection is to provide advice regarding the condition of the property at the time of the inspection.

#### Access limitations

- Areas where reasonable entry is denied to the inspector or where reasonable access is not available are excluded from and do not form part of the inspection. Access limitations may include legal right of entry, locked doors, security system, pets, furniture or other obstructions. Physical access limitations may include height, narrow boundary clearance, thick vegetation, small roof or crawl space and adverse weather conditions. The report shall identify any area or item within the scope of the inspection that was not inspected and the factor that prevented inspection.
- The extent of accessible areas shall be determined by the inspector at the time of inspection based on the conditions encountered at that time. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access includes a prerequisite that the minimum clearances specified in the table below are safely available.

#### DIMENSIONS FOR REASONABLE ACCESS

<u>Area</u>	<u>Access hole</u>	<u>Crawl space</u>	<u>Height</u>
Roof Interior	400mm x 500mm	600mm x 600mm	Accessible from a 3.6m ladder
Roof exterior	-	-	Accessible from a 3.6m ladder placed on the ground

#### NOTES:

- 1 Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
- 2 Sub-floor areas sprayed with chemicals are not be inspected unless it is safe to do so.

#### Conditions

An inspection report may be conditional on

- prevailing weather conditions or recent occupancy and use of services that might affect observations
- information provided by the client or the agents of the client
- deliberate concealment of defects
- any other relevant factor limiting the inspection

## Scope of inspection

### What is not reported on - general exclusions detailed in the standard AS 4349.1 - 2007

- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.

### What is not reported on - specifics excluded by the standard AS 4349.1 - 2007

Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

### What is reported on

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

The following areas shall be inspected where applicable:

- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
- The roof space: roof covering; roof framing; sarking; party walls; insulation
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
- The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (general & swimming pool) ; surface water (drainage effectiveness)

The scope of the inspection includes variations to the exclusions in AS 4349.1 - 2007 as detailed below.

\_Nil

Agreement Accepted via Website

Joe Noto

Kurt sample

# Building Construction & General Access Limitations

## Construction-Original House

Year Built	1955 (Approximate) Estimated
Number of Stories	1
Type of Building	Freestanding house
Footings	Concrete strip perimeter footings with timber stumps supporting flooring & internal walling
Flooring	Strip timber, Particle board
Wall Framing	Timber frame
External Walling	Non-articulated masonry
Internal Walling	Plastered
Windows	Timber framed
Roof Framing	Conventional timber framing
Roof Cladding	Concrete roof tiles

## General Access Limitations

### External

- Underground Items
- Footings
- Stored items to East elevation

### Internal

- Wall Cavities
- Behind tiles
- Under bottom shelves to various joinery units
- Concealed areas
- Floor Coverings
- Concealed structural items

### Roof Void

- Insulation b/w Ceiling Joists

### Under Floor

- Asbestos risk - an inspection can be undertaken once an asbestos audit / removal has been undertaken

# Explanation of codes used in the inspection report

## Defect types

Type	Defect	Identifier
A	Damage	The fabric of the element has ruptured or is otherwise broken.
B	Distortion Warping Twisting	An element or elements has been distorted or moved from the intended location.
C	Water penetration, Damp related	Moisture is present in unintended or unexpected locations.
D	Material Deterioration (rusting, rotting, corrosion, decay)	An element or component is subject to deterioration of material or materials.
E	Operational	An element or component does not operate as intended.
F	Installation (including omissions)	The element or component is subject to improper or ineffective installation inappropriate use, or missing components.

## Defect Significance

Significance Code	Significance Description	Significance Explanation
MA	Major	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
MI	Minor	A defect is minor if it is primarily aesthetic or if it relates to a localized part of the building. While minor defects may be recorded, AS 4349.1 - 2007 does not require the inspector to comment on individual minor defects and imperfections (may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors). Such defects can often be addressed with good home maintenance and when redecoration and renovation is undertaken. A poorly-maintained home could have many more minor defects than other homes of similar age & type of construction.
SH	Safety Hazard	A defect that in the opinion of the inspector is or may constitute a potentially serious safety hazard.
FI	Further Investigation	A defect or possible defect that in the opinion of the inspector warrants further investigation by an appropriate specialist.

## Damage categories for cracking in masonry

Description of typical damage and required repair	Width limit	Damage category
Hairline cracks.	≤ 0.1 mm	0
Fine cracks that do not need repair.	≤ 1.0 mm	1
Cracks noticeable but easily filled. Doors and windows stick slightly.	≤ 5.0 mm	2
Cracks can be repaired and possibly a small amount of wall will need to be replaced. Door and windows stick, service pipes can fracture. Weather tightness often impaired.	> 5.0 mm, ≤ 15.0 mm (or a number of cracks 3.0 mm or more in one group).	3
Extensive repair work involving breaking out and replacing sections of walls, especially over doors and windows and door frames distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted.	> 15.0 mm, ≤ 25 mm but also depends on number of cracks.	4

## Defects recorded during inspection

### Interior - Bathroom

Ceilings & cornices

Leakage evidence

Minor Defect

Type: C

*Roof tiles are porous and have moved. Replacement roof tiles are highly recommended.*



### Interior - Laundry

Trough cabinet/cupboard

Missing door

Minor Defect

Type: F





## Interior - Various rooms

Structural movement defects      Various items

Minor Defect

Type: A

*Various movement defects including the following items have been recorded;*

- 1. Cracking to walls & ceilings - plasterer to patch cracks in a professional manner ready for paint.*
- 2. Movement of window & door opening's out of square - carpenter to square up timber frame.*
- 3. Movement of floors out of level - re-levelling of the sub-floor is not essential other to areas where re-tiling will be carried out.*
- 4. Ceilings out of level - no action required. Although re-levelling of ceiling joists can be carried out.*

*These defects have occurred as a result of movement through the foundations most likely as a result of natural movement over time and poor site drainage leading to residual defects such as decay & lateral movement/subsidence of stumps.*

*Rectification of the above mentioned items should only be carried out once site drainage issues have been rectified and re-stumping carried out.*

*Some examples depicted below.*

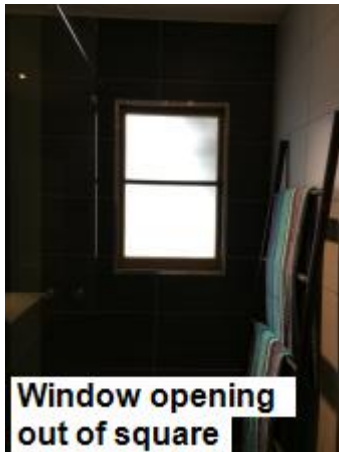




**Ceiling joint separation**



**Door out of square**



**Window opening out of square**

### Exterior - Front Elevation

Portico

Suspended concrete roof out of level Safety Hazard and heavily decayed

Type: A, D, C

*Remove portico roof.*



## Exterior - West Elevation

Walling

Cracking - category 1

Minor Defect

Type: A

*Has occurred as a result of subsidence of the clay foundations. Further movement may occur as moisture content in foundations changes through changing weather conditions. Regular monitoring is required over time and should further significant movement occur, additional inspection required.*



Doors

Doors installed back to front

Minor Defect

Type: F

*The door handle to the bi-fold door has been installed on the external face.*



## Exterior - Default Elevation

Walling

Rising damp

Minor Defect

Type: D, C

*Ensure site drainage is rectified as previously discussed in this report.*

*Ensure down-pipes are connected to storm water.*

*Replacement of the damp proof course is highly recommended.*





External timbers                      Timbers susceptible to rot                      Minor Defect                      Type: D, C

*Application of sealants, paints or flashings required to protect external timbers from moisture ingress to prevent further decay/rot to exposed timbers.*

*All timber joints, gaps at junctions, un-painted surfaces etc required filling, sanding and painting.*

*All timber glazing beads to external window faces require sealant to prevent further decay.*

*All non-treated timber in contact with the ground should be replaced with treated timber to prevent rot and damage.*

*Some examples depicted below.*

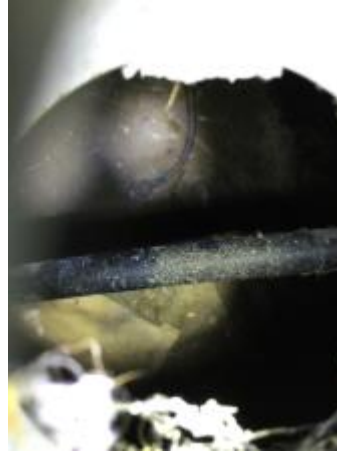
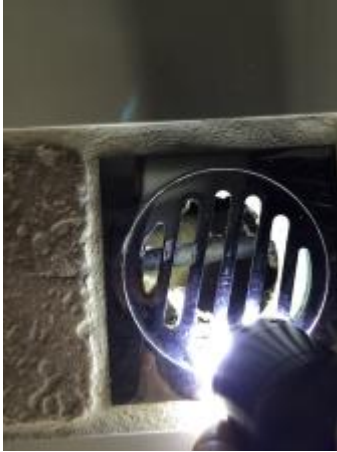


## Exterior - Other Features

Plumbing                      Floor waste to laundry floor not connected                      Further Investigation Type: F

*It is highly recommended a licensed plumber carry out further investigation on the plumbing system. This type of defect is significant evidence of a substandard renovation.*

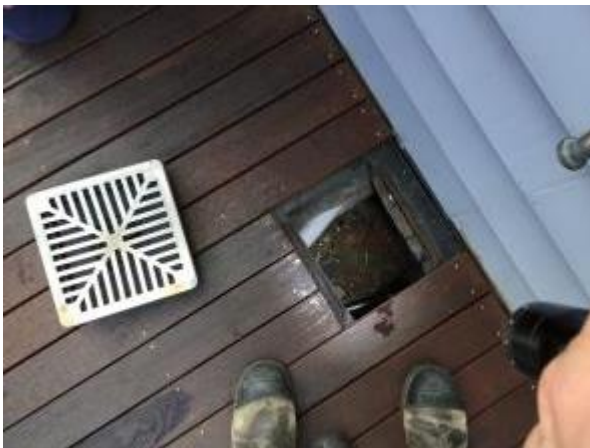
*The plumbing compliance certificate for new works should be sought although it is highly unlikely one exists.*



Plumbing                      Floor waste to rear deck picking up garden tap not connected                      Further Investigation Type: F

*It is highly recommended a licensed plumber carry out further investigation on the plumbing system. This type of defect is significant evidence of a substandard renovation.*

*The plumbing compliance certificate for new works should be sought although it is highly unlikely one exists.*





Electrical                      Exposed live parts in roof void                      Safety Hazard                      Type: F  
*Licensed electrician to undertake a safety inspection prior to making the purchasing decision.*



Electrical                      Replacement TV antenna required                      Minor Defect                      Type: F



## Exterior - Rear extension

General condition      Various items      Further Investigation Type: A, F

*Local council approval for a building extension has likely not been granted. The rear extension is essentially 3 walls and a roof installed over the rear deck structure.*

*Further investigation at local council is required.*

*There have been no steps provided into the East elevation side of the building.*

*Electrical services need to be thoroughly inspected by a licensed electrician.*

*Installation of external cladding is very poor quality.*



## Roof - Roof Exterior

Roof tiles      Some roof tiles need re-seating      Minor Defect      Type: A

*Re-seating required to prevent further dilapidation and leakage.*





Roof tiles

Porous concrete roof tiles

Minor Defect

Type: D

*Life span of concrete tiles has expired. Replacement tiles highly recommended.*





Skylights                      Surface corrosion to metal surround    Minor Defect                      Type: D  
*Apply anti-corrosive paint to metal surround.*



Guttering                      Gutters blocked with leaves, silt, moss etc                      Minor Defect                      Type: E  
*Clean out gutters to prevent blockage, potential for over-flow into eaves voids and corrosion. Once cleaned, check for corrosion and replace as required.*



Down pipes                      Not connected to storm water system    Minor Defect                      Type: F

*Storm water points are required to be installed by a licensed plumber to pick up the down pipes to the East elevation. This will prevent water flow into the sub-floor and residual defects such as decay of stumps, rising damp and structural movement defects.*

*Ground levels relevant to the current storm water system are required to be taken by a licensed plumber prior to making the purchasing decision to ensure adequate gravity fed flow to the current storm water system can be made as new points will be required at the lowest level of the site. There may be a need for retention pit with a pit pump to push water flow up hill.*



### **Roof - Roof Void**

Roof framing                      New roof struts and hanging beams    Minor Defect                      Type: F

*Likely installed to straighten out the roof structure although timber pest such as borer may have been present.*





**Sub-Floor - Sub-Floor Space**

Moisture                      Moist ground under floor                      Major Defect                      Type: C

*Causing rot to timber stumps and rising damp. Rectification of poor site drainage is required.*

*Re-stumping is required.*



Under timber floor                      Loose / damaged asbestos sheet restricting access through the sub-floor                      Safety Hazard                      Type: F, A

*An asbestos audit to the entire property is required to ensure all hazardous material has been removed prior to occupancy or renovation. Further inspection of the sub-floor will also be required once asbestos has been removed.*



**Asbestos tile underlay to original tiles**

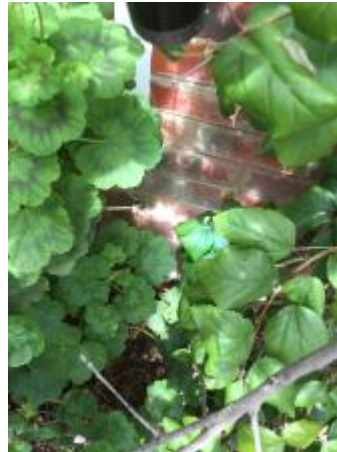
**Asbestos sheet**



Trees                                      Close trees on reactive site may                      Minor Defect                      Type: F  
contribute to structural movement in  
the building

*It is recommended, tree's are removed as recommended by the CSIRO to prevent changing moisture content through the foundations and therefore structural movement defects over time.*

*New mortar joints to the front elevation perimeter wall have been recorded so it is likely some form of rectification as a result of movement has been carried out in the past. Remove tree and monitor over time.*



Gardens & grounds                      Gardens against house a dampness                      Minor Defect                      Type: F  
issue

*Gardens beds allow lateral moisture penetration through perimeter walls and eventually decay of these walls. Moist sub-floor soils may also occur as a result. It is recommended garden beds at the perimeter of the property are removed and replaced with a concrete hard stand area.*





**Site - Grounds**

Pathways

Subsidence

Minor Defect

Type: A

*Re-install pavers on compacted ground.*



Pathways

Damaged timber deck

Safety Hazard

Type: A

*Carpenter required to modify to prevent injury.*



Property fencing

Damaged masonry fencing

Minor Defect

Type: A

*Re-brick damaged section asap. The top corner is loose and can fall on to the foot path at the West elevation.*



## Further due diligence recommended

- Air conditioning system inspection
- Asbestos report
- Building inspection to under-floor areas
- Building inspection to concealed areas
- Electrical safety inspection
- Electrical compliance inspection
- Chimney/flue inspection
- Fixed appliance inspection
- Heater inspection
- Hot water service inspection
- Plumber's report on leakages
- Plumber's report on gas installation
- Plumber's report on compliance
- Property boundary survey
- Valuation report
- Security system inspection
- Storm water/sewer/water supply systems
- Wall Cavities
- Behind tiles
- Underground items
- Fire safety systems
- Building permit items
- Owner builder's report
- Bath hob cavity
- BCA requirements
- Concealed voids and structural items



# Summary

## FI - Further Investigation

### Exterior > Other Features > Plumbing > Floor waste to laundry floor not connected

It is highly recommended a licensed plumber carry out further investigation on the plumbing system. This type of defect is significant evidence of a substandard renovation. The plumbing compliance certificate for new works should be sought although it is highly unlikely one exists.

### Exterior > Other Features > Plumbing > Floor waste to rear deck picking up garden tap not connected

It is highly recommended a licensed plumber carry out further investigation on the plumbing system. This type of defect is significant evidence of a substandard renovation. The plumbing compliance certificate for new works should be sought although it is highly unlikely one exists.

### Exterior > Rear extension > General condition > Various items

Local council approval for a building extension has likely not been granted. The rear extension is essentially 3 walls and a roof installed over the rear deck structure. Further investigation at local council is required. There have been no steps provided into the East elevation side of the building. Electrical services need to be thoroughly inspected by a licensed electrician. Installation of external cladding is very poor quality.

## MA - Major Defect

### Sub-Floor > Sub-Floor Space > Moisture > Moist ground under floor

Causing rot to timber stumps and rising damp. Rectification of poor site drainage is required. Re-stumping is required.

## MI - Minor Defect

### Interior > Bathroom > Ceilings & cornices > Leakage evidence

Roof tiles are porous and have moved. Replacement roof tiles are highly recommended.

### Interior > Laundry > Trough cabinet/cupboard > Missing door

### Interior > Various rooms > Structural movement defects > Various items

Various movement defects including the following items have been recorded; 1. Cracking to walls & ceilings - plasterer to patch cracks in a professional manner ready for paint. 2. Movement of window & door opening's out of square - carpenter to square up timber frame. 3. Movement of floors out of level - re-levelling of the sub-floor is not essential other to areas where re-tiling will be carried out. 4. Ceilings out of level - no action required. Although re-levelling of ceiling joists can be carried out. These defects have occurred as a result of movement through the foundations most likely as a result of natural movement over time and poor site drainage leading to residual defects such as decay & lateral movement/subsidence of stumps. Rectification of the above mentioned items should only be carried out once site drainage issues have been rectified and re-stumping carried out. Some examples depicted below.

### Exterior > Default Elevation > Walling > Rising damp

Ensure site drainage is rectified as previously discussed in this report. Ensure down-pipes are connected to storm water. Replacement of the damp proof course is highly recommended.

### Exterior > Default Elevation > External timbers > Timbers susceptible to rot

Application of sealants, paints or flashings required to protect external timbers from moisture ingress to prevent further decay/rot to exposed timbers. All timber joints, gaps at junctions, unpainted surfaces etc required filling, sanding and painting. All timber glazing beads to external window faces require sealant to prevent further decay. All non-treated timber in contact with the ground should be replaced with treated timber to prevent rot and damage. Some examples depicted below.

### Exterior > Other Features > Electrical > Replacement TV antenna required

### Exterior > West Elevation > Walling > Cracking - category 1

Has occurred as a result of subsidence of the clay foundations. Further movement may occur as moisture content in foundations changes through changing weather conditions. Regular monitoring is required over time and should further significant movement occur, additional inspection required.

### Exterior > West Elevation > Doors > Doors installed back to front

The door handle to the bi-fold door has been installed on the external face.

**Roof > Roof Exterior > Roof tiles > Some roof tiles need re-seating**

Re-seating required to prevent further dilapidation and leakage.

**Roof > Roof Exterior > Roof tiles > Porous concrete roof tiles**

Life span of concrete tiles has expired. Replacement tiles highly recommended.

**Roof > Roof Exterior > Skylights > Surface corrosion to metal surround**

Apply anti-corrosive paint to metal surround.

**Roof > Roof Exterior > Guttering > Gutters blocked with leaves, silt, moss etc**

Clean out gutters to prevent blockage, potential for over-flow into eaves voids and corrosion. Once cleaned, check for corrosion and replace as required.

**Roof > Roof Exterior > Down pipes > Not connected to storm water system**

Storm water points are required to be installed by a licensed plumber to pick up the down pipes to the East elevation. This will prevent water flow into the sub-floor and residual defects such as decay of stumps, rising damp and structural movement defects. Ground levels relevant to the current storm water system are required to be taken by a licensed plumber prior to making the purchasing decision to ensure adequate gravity fed flow to the current storm water system can be made as new points will be required at the lowest level of the site. There may be a need for retention pit with a pit pump to push water flow up hill.

**Roof > Roof Void > Roof framing > New roof struts and hanging beams installed**

Likely installed to straighten out the roof structure although timber pest such as borer may have been present.

**Site > Site Management > Surface water > Ground slopes towards building & no provision for drainage**

Poor site drainage occurs to the North elevation where the land slopes and water flows toward the home. Sub-floor structures are significantly affected by poor drainage where structural movement defects to internal and external area's of the home may occur as a result. These defects commonly include cracking to internal linings, separation of architraves, binding doors, movement of floors out of level. Significant defects such as rising damp which may cause rot to the timber sub-floor structure and damp soils which has caused decay to stumps has occurred. In this case, it is recommended that an agricultural drain be installed across the front and East elevations to pick up excess water. The agricultural drain is to be installed as per relevant Australian Standards and be connected to the storm water system by a licensed plumber. The depth at which the agricultural drain lies should match or be lower than that of the level of the sub-floor ground. A concrete path around the perimeter of the home is also recommended to ensure surface water falls away from the perimeter and into the agricultural drains.

**Site > Site Management > Trees > Close trees on reactive site may contribute to structural movement in the building**

It is recommended, tree's are removed as recommended by the CSIRO to prevent changing moisture content through the foundations and therefore structural movement defects over time. New mortar joints to the front elevation perimeter wall have been recorded so it is likely some form of rectification as a result of movement has been carried out in the past. Remove tree and monitor over time.

**Site > Site Management > Gardens & grounds > Gardens against house a dampness issue**

Gardens beds allow lateral moisture penetration through perimeter walls and eventually decay of these walls. Moist sub-floor soils may also occur as a result. It is recommended garden beds at the perimeter of the property are removed and replaced with a concrete hard stand area.

**Site > Grounds > Pathways > Subsidence**

Re-install pavers on compacted ground.

**Site > Grounds > Property fencing > Damaged masonry fencing**

Re-brick damaged section asap. The top corner is loose and can fall on to the foot path at the West elevation.

**SH - Safety Hazard**

**Exterior > Front Elevation > Portico > Suspended concrete roof out of level and heavily decayed**

Remove portico roof.

**Exterior > Other Features > Electrical > Exposed live parts in roof void**

Licensed electrician to undertake a safety inspection prior to making the purchasing decision.

**Sub-Floor > Sub-Floor Space > Under timber floor > Loose / damaged asbestos sheet restricting access through the sub-floor**

An asbestos audit to the entire property is required to ensure all hazardous material has been removed prior to occupancy or renovation. Further inspection of the sub-floor will also be required once asbestos has been removed.

**Site > Grounds > Pathways > Damaged timber deck**

Carpenter required to modify to prevent injury.

## **SUMMARY**

General maintenance on the inspected property is considered extremely poor.

Major defects, safety hazards and a long list of minor defects have been recorded to accessible / visible areas - extensive works are required.

Further investigation of the sub-floor area is required.

Expert inspection of electrical and plumbing works is required.

Further investigation at local council is required to determine the legality of the rear extension.

A complete asbestos audit and removal is required by suitably qualified persons is required prior to making the purchasing decision.

It is highly recommended that an invasive inspection to all non-accessible/non-visible area's is carried out prior to making the purchasing decision.

### **Important General Warning Notes:**

Due to the wide spread infestation of termites throughout parts of Victoria, including inner city suburbs, detailed pest inspection by an authorized pest company is recommended if not already undertaken.

1. This report has been prepared in accordance with Australian Standard AS4349.1-2007 for Pre-purchase Inspections – Residential Buildings and is not a pest inspection report. As termites are widespread throughout mainland Australia, we recommend annual property & timber pest inspections.

2. The report only comments on the visual condition of electrical fittings and fixtures. No appliances, fittings or systems have been operated, tested or assessed for compliance.

3. Smoke detectors must be installed in accordance with current regulations. Recommend smoke detectors checking regularly to ensure proper operation.

4. In the interests of safety, we recommend all property owners should have an electrical safety inspection undertaken by a suitably qualified specialist. We also recommend a review of all appliances, equipment and systems at settlement.

5. Drought conditions followed by more recent rain periods can cause buildings to crack literally overnight. Prompt action should be taken to address any specific recommendations made by the author of this report.
6. The condition of timber-framed or concrete decks and balconies deteriorates over time – annual inspections should be undertaken to verify their safety.
7. We recommend a review of all door and window locks and security systems at settlement.
8. The condition of timber or metal framed external structures, and timber or metal framed verandas / pergolas deteriorate over time – annual inspections should be conducted to verify their safety.
9. The condition of timber or metal framed external structures such as timber or metal framed balconies, timber or metal framed decks, deteriorate over time – annual inspections should be conducted to verify their safety.
10. Trees planted close to the perimeter of structures should be closely monitored as vigorous root growth may result in deterioration or damage to buildings and paving. General rule of thumb is that trees should be planted a distance away from structures equal to 1 ½ times the mature height of that particular tree.
11. It is the responsibility of the purchaser to check sales documents and council records to ensure that there are no illegal buildings or structures constructed on the property and that permitted buildings on the subject site have had the required final inspections by the relevant authorities to allow habitation / occupation of that subject building / structure.
12. Shallow concrete tile or terracotta roofs require vigilant monitoring, as these roofs are more prone to leak during adverse or wind driven rain periods than higher pitched roofs due to the shallow pitch of these roofs.
13. Timbers in the ground or within close proximity to the ground around the perimeter of a building, or timbers left / stored underneath a house within sub floor space, should be removed.
14. It must be noted that unforeseen ground movements affected by variations in ground moisture conditions, past drought conditions, increased rain intensity, and proximity of trees / plants may result in further / increased uncontrolled cracking in parts to external wall panels, internal floor coverings, and internal wall and ceiling cladding. Vigilant monitoring recommended. Any dramatic changes should be reported to the author of this report for further assessment.
15. Caution to be exercised as cement sheet cladding material manufacture prior to 1984 may contain asbestos fibres. Caution as buildings of this age may contain cement sheet products that potentially may contain asbestos fibres. Recommend performing an asbestos audit on all buildings that are older than 1984.

16. Shallow metal deck or corrugated metal roofs require vigilant monitoring, as these roofs are more prone to leak during adverse or wind driven rain periods than higher pitched roofs due to the shallow pitch of these roofs.

17. Sealed balcony floors require vigilant monitoring even though these balcony floors may not show current signs of water leaks. These balcony floors may be prone to future leakage as grout, silicon, and water proofing deteriorate or breakdown due movements induced into the building resulting from structural settlement, or movements induced into the building resulting from uncontrolled ground movements. Balcony floors that are relatively flat or have low grade may be prone to retaining water that may eventually leak through the balcony floor.

18. In the interests of safety, Melbourne Property Inspections P/L recommends all property owners should have an electrical safety inspection undertaken by a suitably qualified specialist.

19. If you are purchasing the property, Melbourne Property Inspections P/L recommends a review of all door and window locks and security systems, appliance and equipment at settlement as the conditions of these may change from the time of this inspection.

20. Caution as deterioration may start or continue to worsen over the next few months, in particular during the settlement period of the purchase of this property.

21. Cracking in brickwork:

In accordance with AS2870 - Residential slabs and footings - Construction, Appendix C1:Classification of damage with reference to walls, evident cracking will be classified within the categories as listed earlier in this report.

22. It is highly likely a moisture proof membrane has not been applied to the shower walls & floor prior to tiling and over time water seepage into the wall cavity may have occurred - an invasive inspection is required to determine extent of any potential damage and to make determination on rectification methods. It is recommended tiles are re-grouted, silicone sealant applied to tile junctions and an epoxy resin applied to the surface to seal the grout at a minimum for the short-term.

23. Washers to all taps and outlets commonly require regular maintenance and should be replaced.

## Conclusion

When compared to other buildings of similar age, construction and style that have been reasonably well maintained, on the day of the inspection, it was the inspector's opinion that:

- The incidence of major defects was **HIGH**
- The incidence of minor defects was **HIGH**
- The incidence of safety issues was **HIGH**

Therefore the overall condition of this home, in context, was considered, on the day, to be: **BELOW AVERAGE**

Please note: This is a general overall appraisal only and cannot be relied upon on its own. The report must be read in its entirety.

### Explanation of conditions:

#### **HIGH**

The frequency and/or significance of defects were more than expected when compared to buildings of similar age, construction and style that have been reasonably well maintained.

#### **TYPICAL**

The frequency and/or significance of defects were consistent with that expected when compared to buildings of similar age, construction and style that have been reasonably well maintained.

#### **LOW**

The frequency and/or significance of defects were less than expected when compared to buildings of similar age, construction and style that have been reasonably well maintained.

#### **ABOVE AVERAGE**

The overall condition is better than that expected of homes of similar age, construction and style. Most items and areas are well maintained and show a reasonable standard of construction, materials and workmanship. General ongoing maintenance should suffice.

#### **AVERAGE**

The overall condition is consistent with that expected of homes of similar age, construction and style. There will be areas or items requiring some repairs or maintenance attention.

#### **BELOW AVERAGE**

The home and its parts show significant defects and/or very poor workmanship and/or long term neglect requiring extensive work or major repairs or reconstruction of major building elements. This work would be beyond that generally considered to be normal repair and maintenance.